







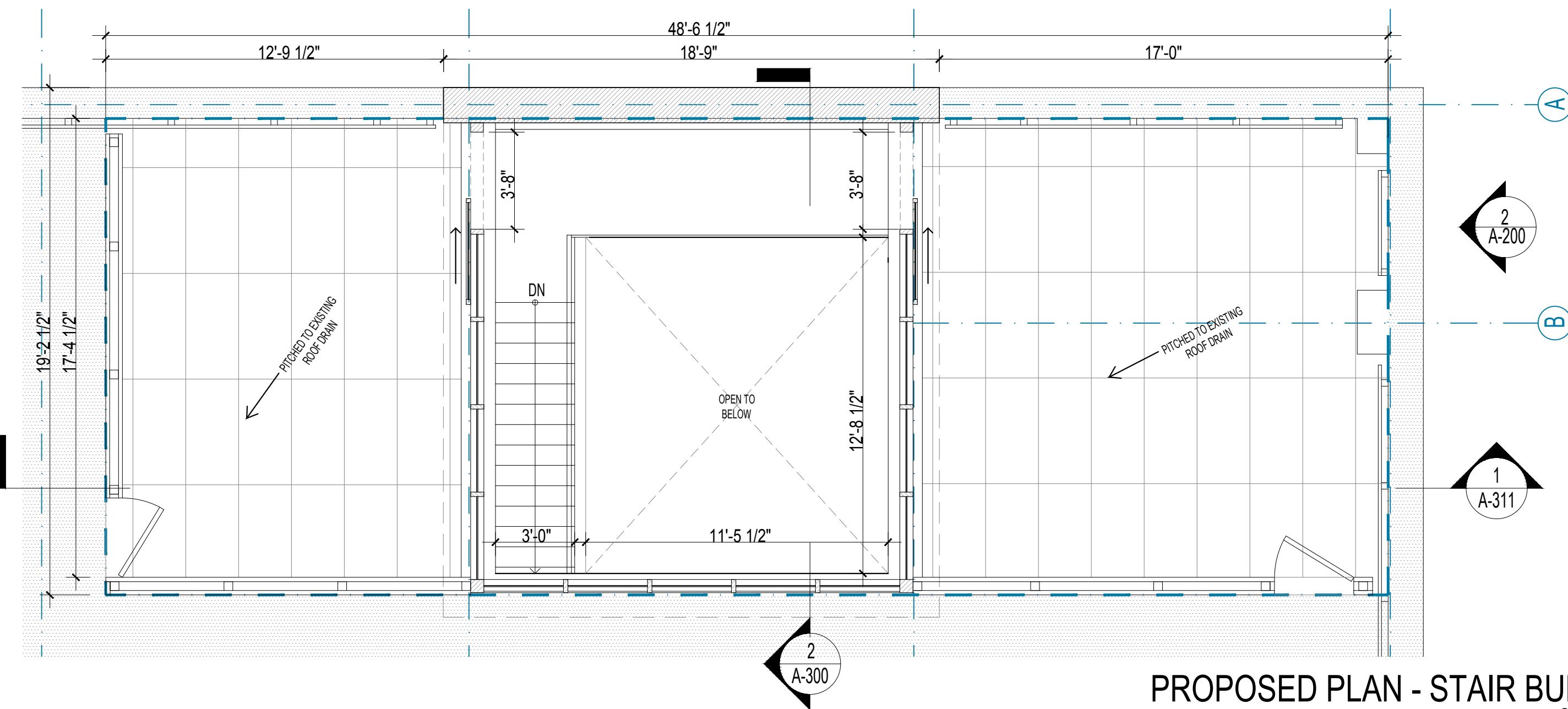


**GENERAL REQUIREMENTS**

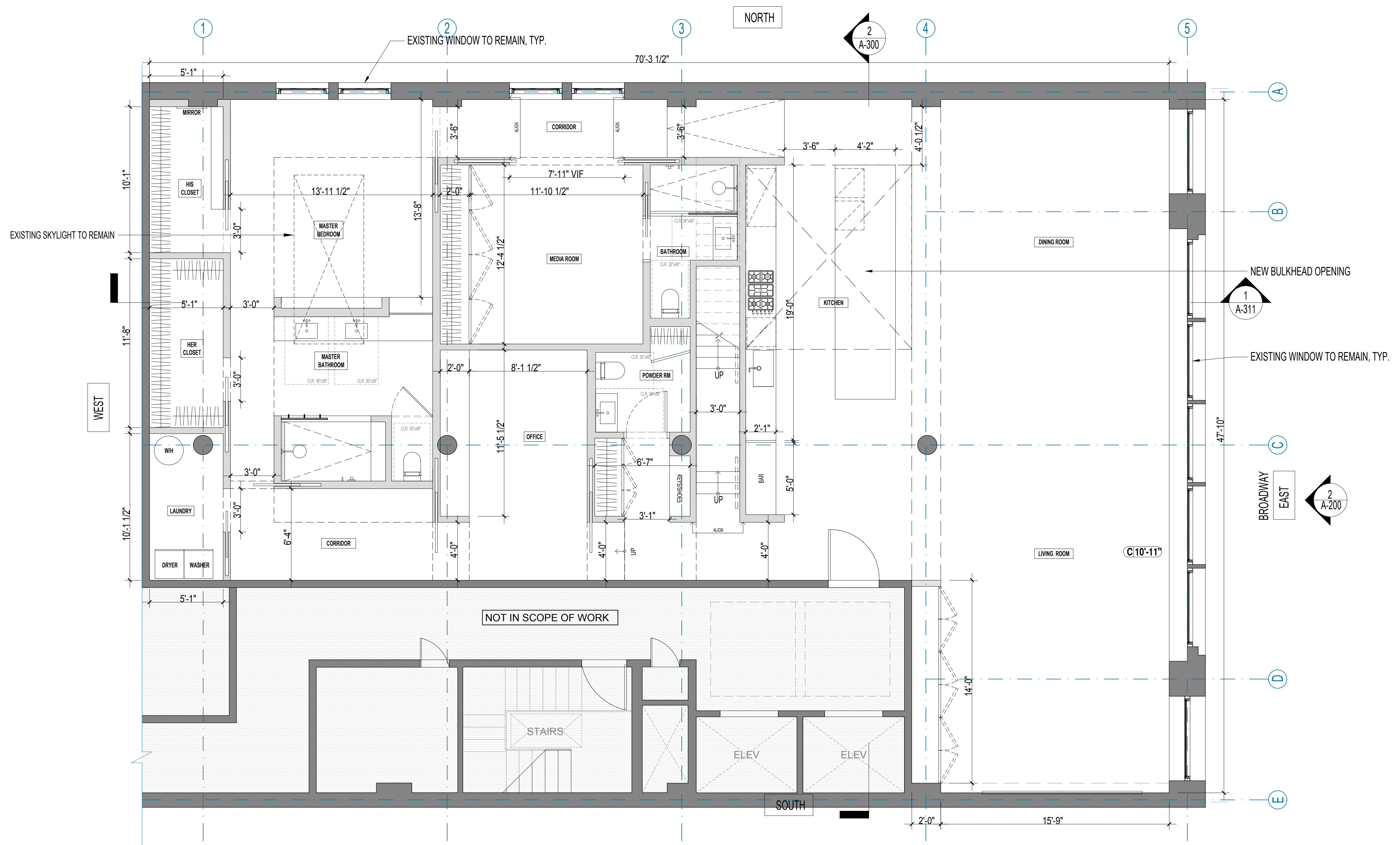
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS FOR CLEARANCES BETWEEN DRAWINGS AND ACTUAL CONDITIONS.
2. ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALLBOARD, FLOORS AND CEILINGS, UNLESS OTHERWISE NOTED. THE DIMENSIONS TO NOT ACCOUNT FOR ADDED FINISHES, SUCH AS WALL PANELING.
3. PROVIDE SUFFICIENT WOOD BLOCKING IN WALLS FOR ALL WALL, MOUNTED FIXTURES, FITTING CABINETS ACCESSORIES OR OTHER DEVICES AND FEATURES SHOWN ON DRAWINGS.
4. ALL EXISTING EXTERIOR DOORS AND WINDOWS TO REMAIN.
5. ALL WALLS MUST BE COMPLETELY SHEATED AND ALL OPENINGS IN BLOCK WALLS MUST BE PATCHED OR PLASTERED PRIOR TO REINSTALLATION OF CABINETRY.
6. CONTRACTOR RESPONSIBLE TO DETERMINE THE LOCATION OF ALL ACCESS DOORS REQUIRED FOR THE OPERATION AND MAINTENANCE OF ALL CONCEALED EQUIPMENT, CONTROLS, DEVICES ETC. AND COORDINATE THE LOCATION AND SIZES WITH THE ARCHITECT.

**LEGEND**

- EXISTING WALL
- NEW WALL



**PROPOSED PLAN - STAIR BULKHEAD 02**  
SCALE: 1/4"=1'-0"



**PROPOSED PLAN - 12TH FLOOR 01**  
SCALE: 1/4"=1'-0"

THIS APPLICATION FOR EXTERIOR WORK ONLY

DOB SCAN:

**T/DUMBLETON ARCHITECT**

Project:  
561 BROADWAY, PH 12A  
NEW YORK, NY 10012

Client:  
JONATHAN FARBER &  
ANYA PECHKO  
561 BROADWAY, PH 12A  
NEW YORK, NY 10012

Architect:  
TA DUMBLETON ARCHITECT PC  
41 WEST 16TH STREET  
NEW YORK, NY 10011

**LANDMARK SET**

REV.	DATE	ISSUE
2017-07-20		LANDMARK SET UPDATES
2017-06-27		ISSUED FOR LANDMARK
		ISSUE

SEAL & SIGNATURE

DRAWING TITLE:

**PROPOSED  
12TH FLOOR PLAN**

DATE: 2017-06-27  
PROJECT No.: --  
DRAWING BY: --  
CHK BY: --  
PAGE No.: --  
DWG No.:

**A-100.00**

DOB Number:









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**EXISTING PARTIAL  
BUILDING SECTION**

DATE: 2017-06-27

PROJECT No.: --

DRAWING BY: --

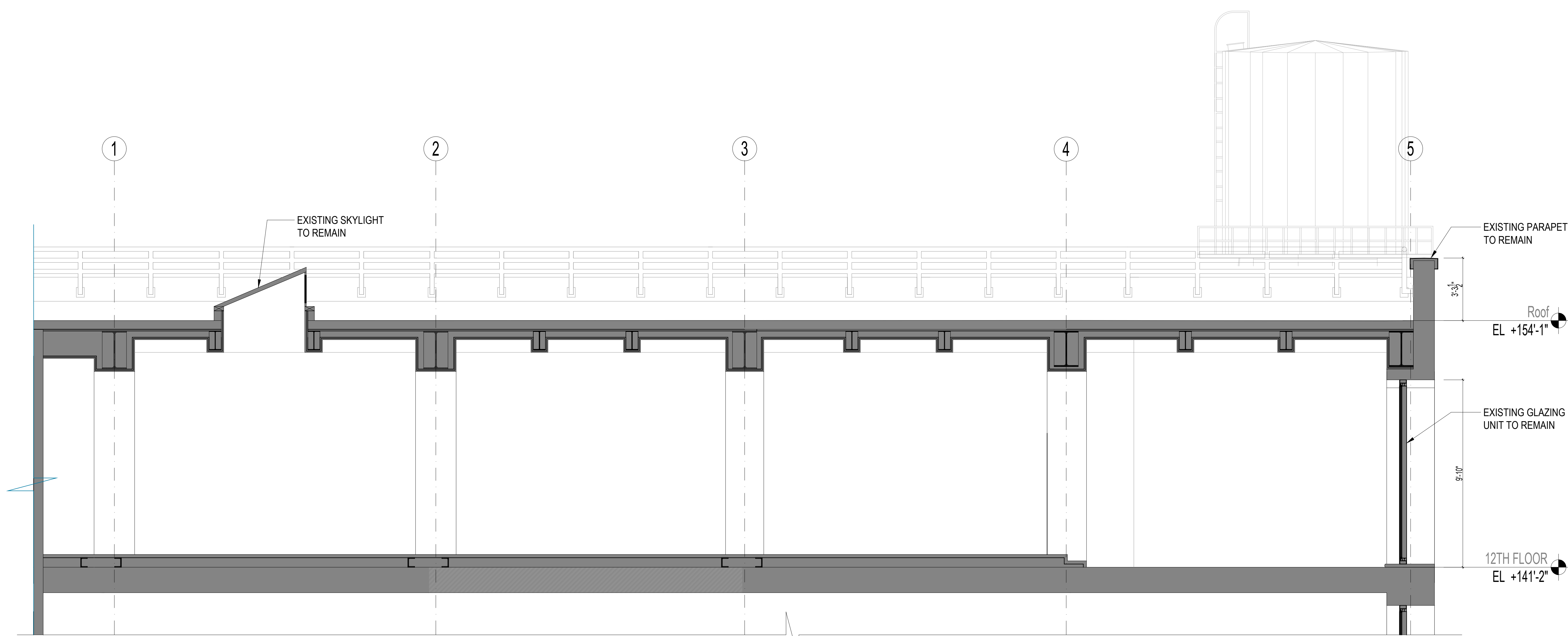
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PAGE No.: --

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**A-310.00**

DOB Number:



EXISTING PARTIAL BUILDING SECTION - 12TH FLOOR  
SCALE: 1/4"=1'-0" **01**

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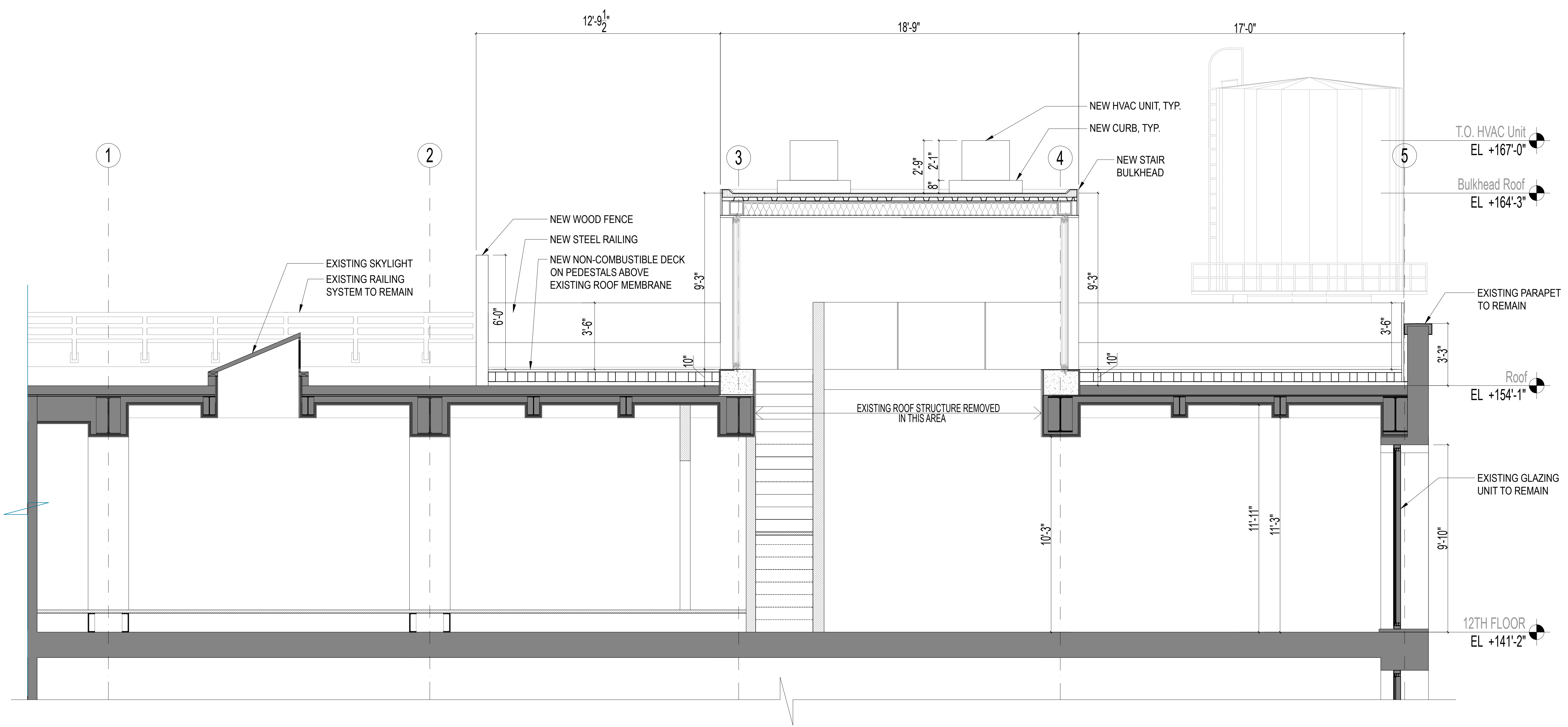
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**PROPOSED PARTIAL BUILDING SECTION**

DATE: 2017-07-27  
PROJECT No.: --  
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**A-311.00**

DOB Number:

**PROPOSED PARTIAL BUILDING SECTION 01**  
SCALE: 3/8"=1'-0"

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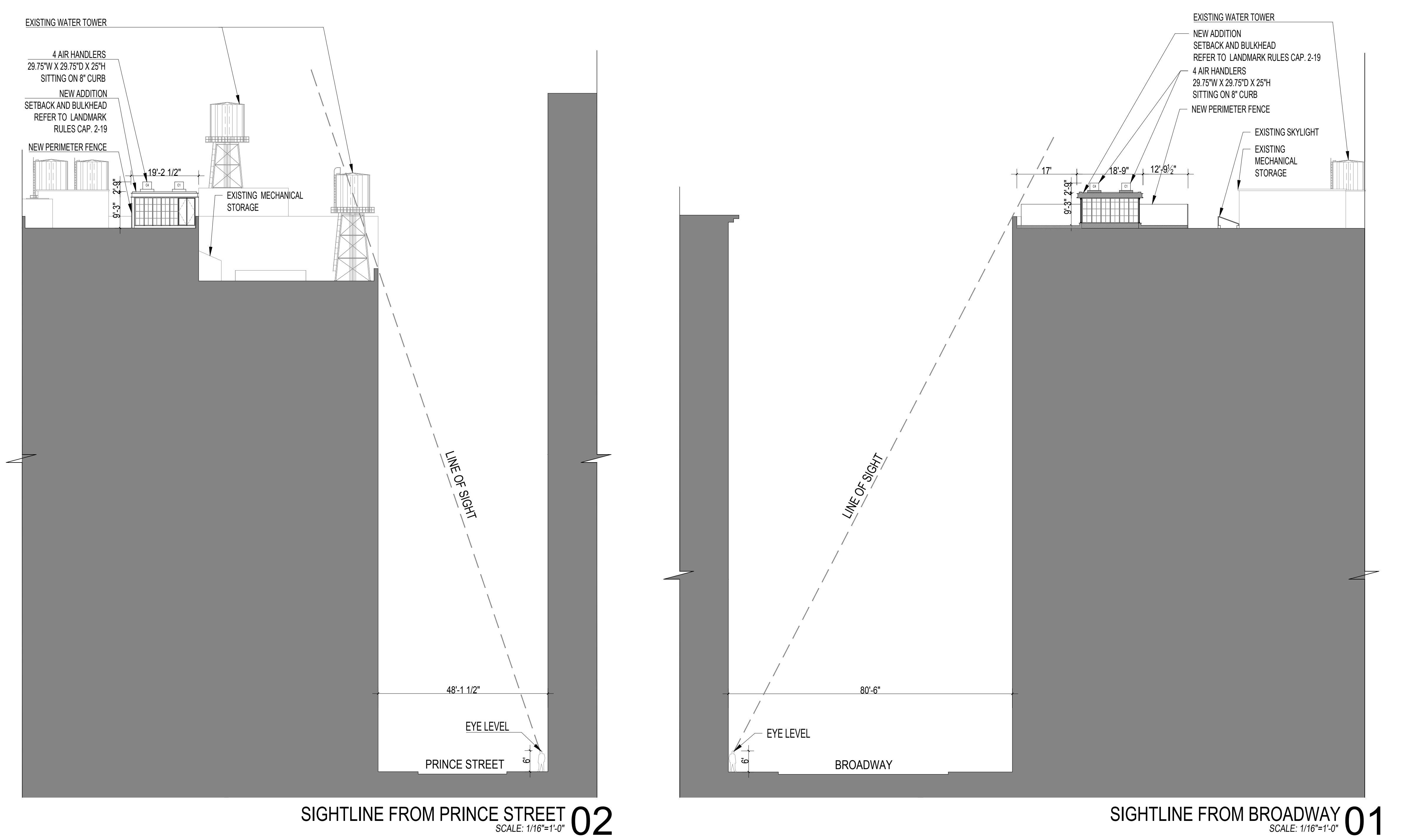
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SIGHTLINE FROM PRINCE STREET 02  
SCALE: 1/16"=1'-0"

SIGHTLINE FROM BROADWAY 01  
SCALE: 1/16"=1'-0"

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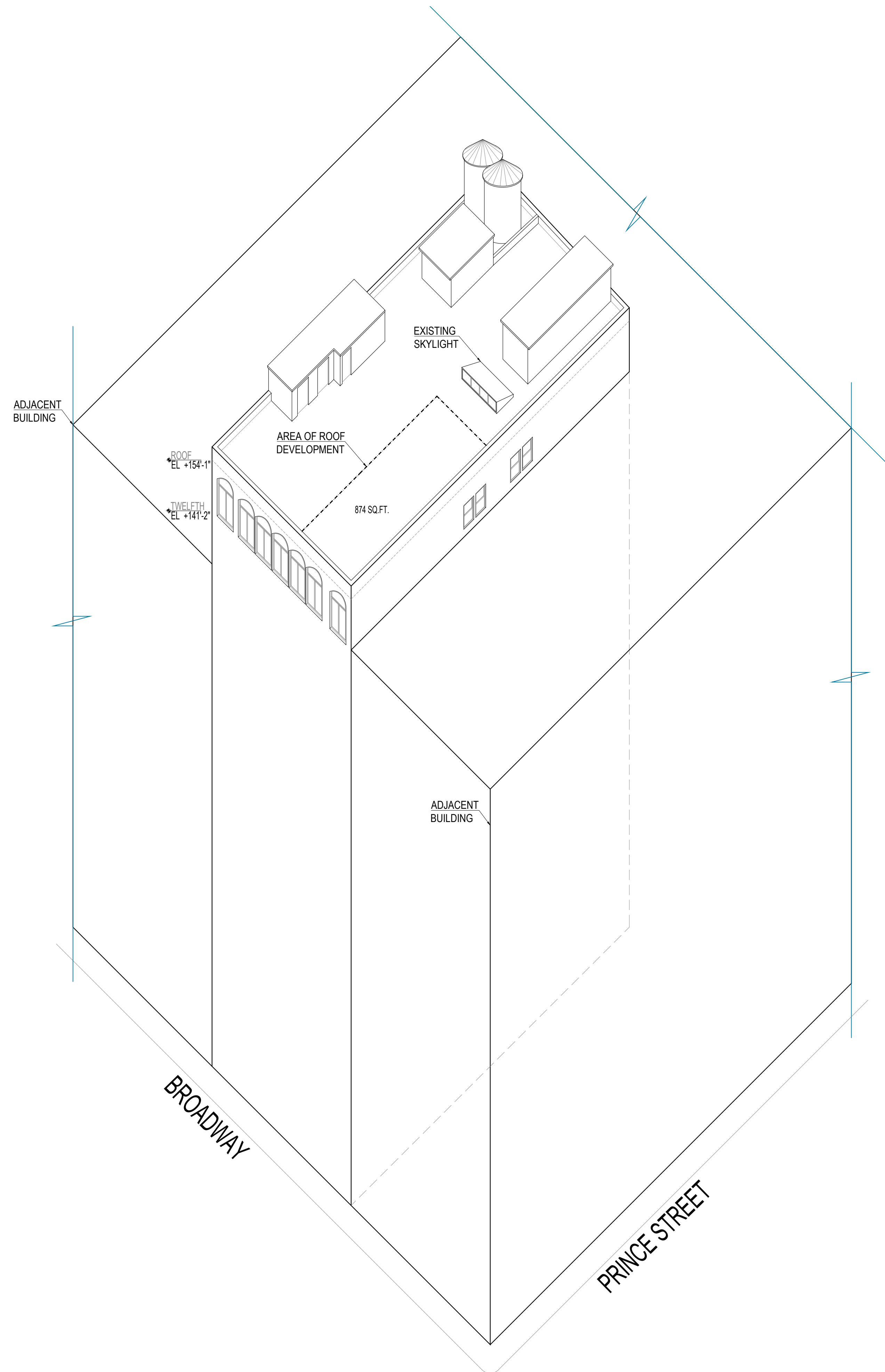
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**SIGHTLINE SECTIONS**

DATE:	2017-06-27
PROJECT No.:	--
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**A-312.00**

DOB Number:



EXISTING AXON OF 561 BROADWAY  
NTS 02



EXISTING CONDITIONS - NORTHEAST CORNER OF BROADWAY & PRINCE ST.  
NTS 01

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DOB SCAN:

TA DUMBLETON ARCHITECT

Project:

561 BROADWAY, PH 12A  
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Client:

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NEW YORK, NY 10012

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EXISTING PHOTO &  
AXONOMETRIC DRAWING

DATE: 2017-06-27

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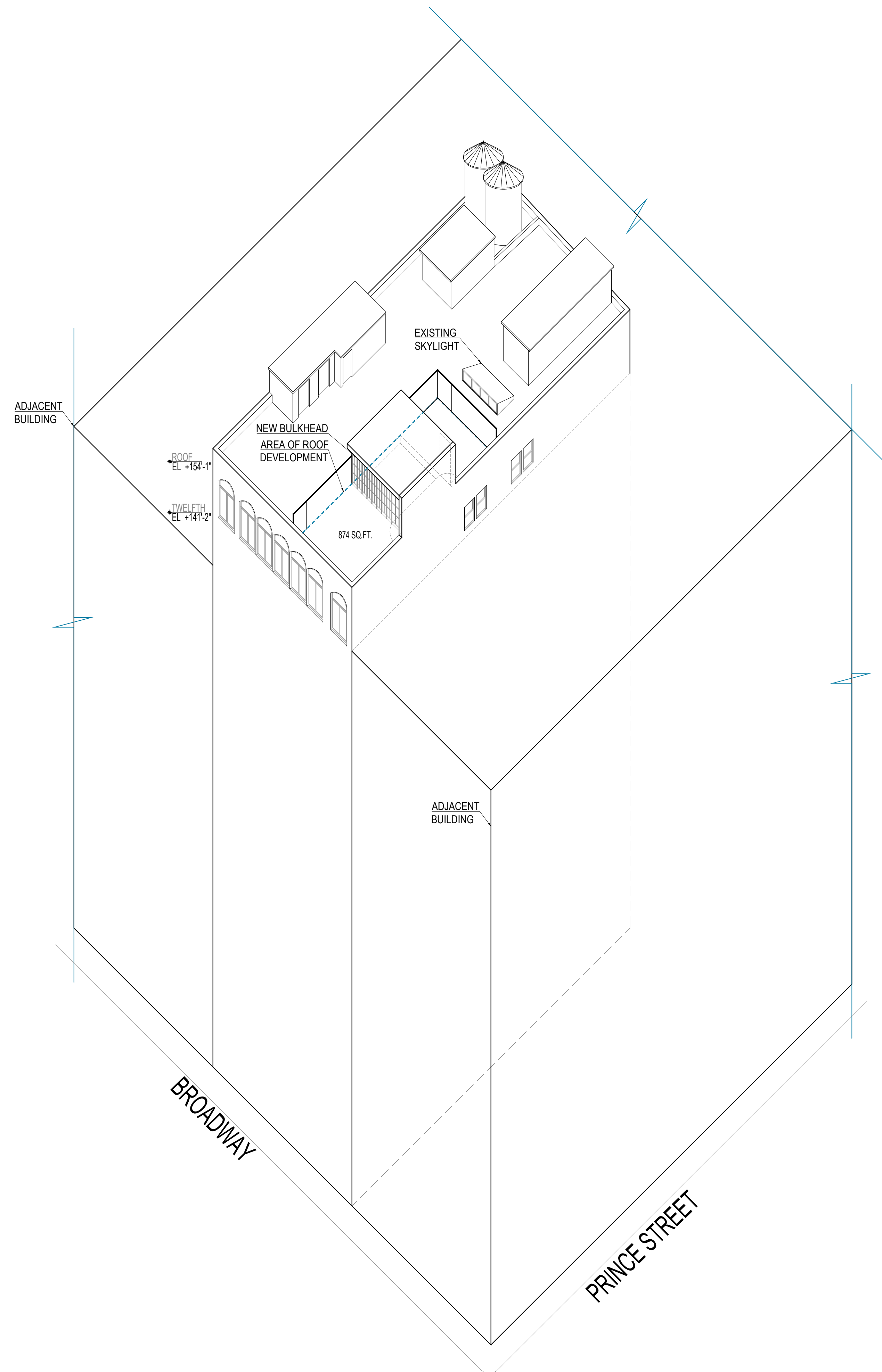
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A-400.00

DOB Number:



PROPOSED AXON OF 561 BROADWAY  
NTS **02**



PROPOSED CONDITIONS - NORTHEAST CORNER OF BROADWAY & PRINCE ST.  
NTS **01**

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AXONOMETRIC DRAWING

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**A-401.00**

DOB Number:



AREA OF ROOF DEVELOPMENT

- EXISTING RAILING NEEDS TO BE REPLACED IN AREAS OF ROOF DEVELOPMENT
- NEW RAILING NEEDS TO MEET CODE

EXISTING CONDITIONS - ROOF **01**  
NTS

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**EXISTING  
ROOF CONDITION**

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