GENERAL REQUIREMENTS

THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALI WORK AS REQUIRED BY THE CONTRACT DOCUMENTS, AND SHALL BE REQUIRED TO COMPLY WITH APPLICABLE REGULATIONS, RULES, REQUIREMENTS, AND CODES WHOSE JURISDICTION GOVERNS THE WORK UNDER THIS PROJECT. ALL OF THE CONSTRUCTION DOCUMENTS ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ONE DOCUMENT WILL BE AS IF CALLED FOR BY ALL.; ANY WORK SHOWN OR REFERRED TO ON ANY ONE DRAWING SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DRAWINGS. LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY.

RESPONSIBILITY AND INTENT

- 1. IT IS THE INTENT THAT THE WORK INCLUDED UNDER EACH SECTION SHALL COVER THE MANUFACTURE, FABRICATION, DELIVERY INSTALLATION AND/OR ERECTION, WITH ALL INCIDENTALS THERETO, UNLESS OTHERWISE NOTED OR SPECIFIED. "PROVIDE". MEANS TO **FURNISH AND INSTALL**
- WHERE WORK CALLS FOR SERVICE CONNECTIONS, SUPPORT, OR INSTALLATION, OF ANY ITEM OR GROUP OF ITEMS BEING FURNISHED BY OTHER CONTRACTS. THE OMISSION ON ANY GIVEN ITEM FROM THE DRAWING OF HIS PARTICULAR CONTRACT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR INSTALLING, CONNECTING, OR SUPPORTING SUCH ITEM AT NO INCREASE, IN CONTRACT COST. THE CONTRACTOR IS DEEMED TO HAVE EXAMINED THE PLANS AND SPECIFICATIONS OF ALL TRADES TO ASCERTAIN THE FULL SCOPE OF HIS WORK INCLUDING BUT NOT LIMITED TO CONNECTIONS AND INSTALLATION OF EQUIPMENT FURNISHED BY OTHER TRADES.
- WHERE ADDITIONAL, OR SUPPLEMENTAL DETAILS OR INSTRUCTIONS ARE REQUIRED TO COMPLETE AN ITEM OR ITEMS, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT, PRIOR TO PERFORMING WORK, WHOM SHALL FURNISH THE NECESSARY INFORMATION TO THE CONTRACTOR. THE FURNISHING OF SUCH DATA SHALL NOT BE GROUNDS FOR A CLAIM FOR EXTRA WORK BY THE CONTRACTOR. THE CONTRACTOR WILL BE DEEMED TO HAVE BASED HIS BID ON A COMPLETE INSTALLATION: WHERE ADDITIONAL DETAILS OR INSTRUCTIONS ARE REQUIRED TO COMPLETE HIS WORK. HE IS DEEMED TO HAVE MADE AN ALLOWANCE IN HIS BID FOR THE COMPLETING OF SUCH WORK

MEASUREMENTS

- 1. PRIOR TO ORDERING ANY MATERIALS OR DOING ANY WORK. VERIFY DIMENSIONS AND MEASUREMENTS OF THE SITE AND BE RESPONSIBLE FOR THE CORRECTNESS OF THEM. NO EXTRA CHARGES OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND MEASUREMENTS INDICATED IN DRAWINGS: ANY DIFFERENCE FOUND SHALL BE SUBMITTED TO THE ARCHITECT IN SUFFICIENT TIME FOR THE CONSIDERATION AND DIRECTION BEFORE PROCEEDING WITH THE WORK INVOLVED.
- 2. THE LOCATION OF APPARATUS EQUIPMENT, FIXTURES PIPING OUTLETS, ETC. SHOWN OR SPECIFIED BUT NOT SPECIFICALLY DIMENSIONED SHALL BE CONSIDERED AS ONLY APPROXIMATE. THE ACTUAL LOCATION SHALL AS DIRECTED AND AS REQUIRED TO SUIT THE CONDITIONS AT THE TIME OF INSTALLATION; BEFORE INSTALLATION THE CONTRACTOR SHALL CONSULT THE ARCHITECT, AND ASCERTAIN THE ACTUAL LOCATION REQUIRED. HE SHALL ALSO CONSULT WITH OTHER TRADE CONTRACTOR AND EXAMINE THEIR DRAWINGS SO AS TO AVOID CONFLICTS WITH OTHER WORK.
- DO NOT SCALE DRAWINGS IF DIMENSIONS ARE MISSING FROM DRAWINGS REQUEST INFORMATION FROM ARCHITECT.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO PERFORMING WORK, SHOULD DISCREPANCIES WITH THE DRAWINGS BE DISCOVERED, THE CONTRACTOR IS TO INFORM THE ARCHITECT PRIOR PERFO\RMING WORK.

TEMPORARY FACILITIES

- 1. SOURCES OF POWER, WHERE REQUIRED FOR THE CONTRACTOR USE TO ACCOMMODATE THE NEEDS FOR TEMPORARY FACILITIES, ARE AVAILABLE IN THE EXISTING BUILDING. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE NECESSARY HOOKUP TO THE EXISTING FACILITIES AND TO PROVIDE ALL THE CABLES, POWER LINES, POWER OUTLETS, SWITCHING LIGHTING, OUTLETS BULBS, ETC. WHEN AND WHERE IT IS NEEDED TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, FEEDERS FOR TEMPORARY LIGHT AND POWER SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL STATE AND NATIONAL CODES
- WATER FOR CONSTRUCTION PURPOSES WILL BE MADE AVAILABLE TO THE CONTRACTOR. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE HOSES, VALVES, PAILS, ETC. AS REQUIRED TO DELIVER AN ADEQUATE SUPPLY OF WATER WHEN AND WHERE IT IS NEEDED, AT ALL TIMES TAKE PRECAUTIONS AGAINST LEAKAGE AND DAMAGE CAUSED BY TEMPORARY WATER.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY CLOSURES TO PROTECT THE EXISTING BUILDING AND PREVENTION OF TRESPASSING. THE CLOSURES SHALL BE CONSTRUCTED OF WOOD FRAMING COVERED WITH PLYWOOD, PLASTERBOARD, OR OTHER SUITABLE PANELS AND SUPPLIES WITH ALL SUITABLE HARDWARE.

BUILDING MANAGEMENT NOTES

- 1. ARCHITECT AND CONTRACTOR HAVE RECIEVED, REVIEWED AND WILL ABIDE BY THE BUILDING HOUSE ALTERATION RULES.
- ALL WORK IS TO BE PERFORMED BY FULLY LICENSED CONTRACTORS.
- ALL WORK IS TO BE PERFORMED BY FULLY INSURED CONTRACTORS.
- UNLESS TESTING PROVED OTHERWISE, EXISTING PAINT IS ASSUMED TO CONTAIN LEAD AND AS SUCH REMOVED, HANDLED, AND DISPOSED OF AS PER THE REQUIRMENTS OF THE EPA.
- 5. THE SHAREHOLDER AGREES THAT APPROVAL TO INSTALL A WASHER, DRYER, BIDET OR ANY OTHER MECHANICAL EQUIPMENT IS CONTINGENT UPON THE ACKNOWLEDGMENT THAT SHOULD THERE BE COMPLAINTS ABOUT NOISE, VIBRATION, LEAKS, BACKING UP OF SUDS INTO OTHER APARTMENTS, ETC. THE BUILDING RETAINS THE RIGHT TO REQUIRE THE APPLIANCE OR FIXTURE TO BE REMOVED AT THE SHAREHOLDER'S EXPENSE.
- ANY ASBESTOS CONTAINING MATERIAL ("ACM") IS TO BE FILED FOR, REMOVED, HANDLED AND LEGALLY DISPOSED OF AS PER APPLICABLE CODES, RULES AND REGULATIONS TO BE PERFORMED BY A FULLY LICENSED AND INSURED ASBESTOS ABETMENT COMPANY WITH COPIES OF AIR MONITORING REPORTS TO BE PROVIDED TO THE MANAGING AGENT. IF DURING DEMOLITION SUSPECTED ACM IS UNCOVERED IT IS NOT TO BE DISTURBED UNTIL PROPER TESTING IS PERFORMED AND. IF REQUIRED. ABATED.
- DAMAGE TO ADJACENT APARTMENTS AND/OR BUILDING AREAS THAT ARE THE RESULT OF THE PROPOSED WORK IS TO BE THE FULL, SOLE AND FINANCIAL RESPONSIBILITY OF THE UNIT OWNER WHERE SAID WORK IS BEING PERFORMED. ANY AND ALL PROPOSED WORK THAT CAUSES WATER INFILTRATION INTO THE BUILDING AND DAMAGES TO AFOREMENTIONED BUILDING IS TO BE THE FULL, SOLE FINANCIAL RESPONSIBILITY OF THE UNIT OWNER. ANY AND ALL VIOLATIONS ISSUED TO THE BUILDING AS A RESULT OF THE PROPOSED WORK OR AS A RESULT OF ACTIONS THE CONTRACTOR IS TO BE THE FULL, SOLE AND FINANCIAL RESPONSIBILITY OF THE UNIT OWNER. CORRECTIVE WORK REQUIRED DURING OR AFTER CONSTRUCTION SO AS TO COMPLY WITH CODE, THE ARCHITECT'S DRAWINGS AND THE BUILDING'S ALTERATION RULES IS TO BE THE SOLE, FULL AND FINANCIAL RESPONSIBILITY OF THE UNIT OWNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE 561 BROADWAY OWNERS CORPORATION ALTERATION AGREEMENT, AND ADDENDUM, THE HOUSE RULES, A HOLD HARMLESS AGREEMENT, AND THE SECTION OF THE PROPRIETARY LEASE REGARDING ALTERATIONS, ALL RULES, REGULATIONS, AND REQUIREMENTS DESCRIBED THEREIN ARE TO BE COMPLIED WITH.
- 9. UNDER NO CIRCUMSTANCES WILL IT BE PERMISSIBLE TO CUT OR CHANGE STRUCTURAL ELEMENTS FOR ANY REASON. 10. THERE MUST BE NO REMOVAL OR RELOCATION OF ANY UTILITY PIPING OR CONDUIT SERVING ANY OTHER APARTMENT IN
- THE BUILDING. 11. ALL LOCATIONS WHERE EXISTING PLUMBING FIXTURES ARE PROPOSED TO BE REMOVED. ALL BRANCH (PIPING, SHOULD ALSO BE REMOVED BACK TO RISERS AND CAPPED).
- 12. ALL WORK MUST BE PERFORMED BY INDIVIDUALS LICENSED IN THEIR TRADES.
- 13. THE PROPOSED WORK MUST CONFORM WITH ALL REQUIREMENTS OF THE NYC BUILDING CODE, AND BE FILED WITH THE NYC DEPARTMENT OF BUILDING, UPON COMPLETION, ALL REQUIRED SIGN-OFFS MUST BE OBTAINED BY THE CONTRACTOR AND COPIES PROVIDED TO THE ARCHITECT AND BUILDING MANAGEMENT
- 14. WORKERS MUST CONFORM WITH ALL FEDERAL, NEW YORK STATE, AND NEW YORK CITY REGULATIONS REGARDING THE REMOVAL OF LEAD PAINT. ALSO, ALL DOORS AND OPENINGS GIVING ACCESS TO THE APARTMENT MUST BE SEALED DURING PERFORMANCE OF THE WORK TO PREVENT THE PASSAGE OF DUST AND DEBRIS INTO PUBLIC AREAS AND ADJACENT APARTMENTS.

TENANT SAFETY NOTES

- 1. CONSTRUCTION WORK IS CONFINED TO AREA OF WORK AS DEFINED BY DRAWINGS
- CONSTRUCTION WORK WILL NOT CREATE DUST, DIRT, OR OTHER SUCH INCONVENIENCE TO OTHER TENANTS WITHIN THE BUILDING.
- CONSTRUCTION OPERATION WILL NOT INVOLVE THE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICE FOR TENANTS OF BUILDING WITHOUT REQUIRED NOTICE.
- 4. CONSTRUCTION WILL BE LIMITED TO NORMAL WORKING HOURS, MONDAY THOUGH FRIDAY, EXCLUDING LEGAL HOLIDAYS FROM 8:30 AM UNTIL 4:30 PM AND AS PER BUILDING RULES AND REGULATION AND AT THE DIRECTION OF THE BUILDING DESIGNATED AGENT.
- 5. ALL CONSTRUCTION WORK IS TO BE COORDINATED WITH THE BUILDING'S DESIGNATED AGENT PRIOR COMMENCEMENT.

561 BROADWAY, 12A

CLIENT: JONATHAN FARBER & ANYA PECHKO

BUILDING DEPARTMENT DATA

THE LITTLE SINGER BUILDING BUILDING NAME: ADDRESS: 561-563 BROADWAY - PH 12A ZIP CODE: 10012

BLOCK/LOT: 00948-0007 DISTRICT CODE: M1-5B 12c **COMMUNITY DISTRICT: 2**

LOT AREA: 50'X137' = 4,600 sg/ft**BUILDING AREA:** 50' X 82'=4,100 Sq/ft MAX F.A.R.:

BULK: Residential bulk governed by R6A Commercial bulk governed by C2-4

HISTORIC DISTRICT: SoHo-Cast Iron

LANDMARK: YES

DRAWING LIST

TITLE SHEET / GENERAL NOTES A-001.00 GENERAL NOTES

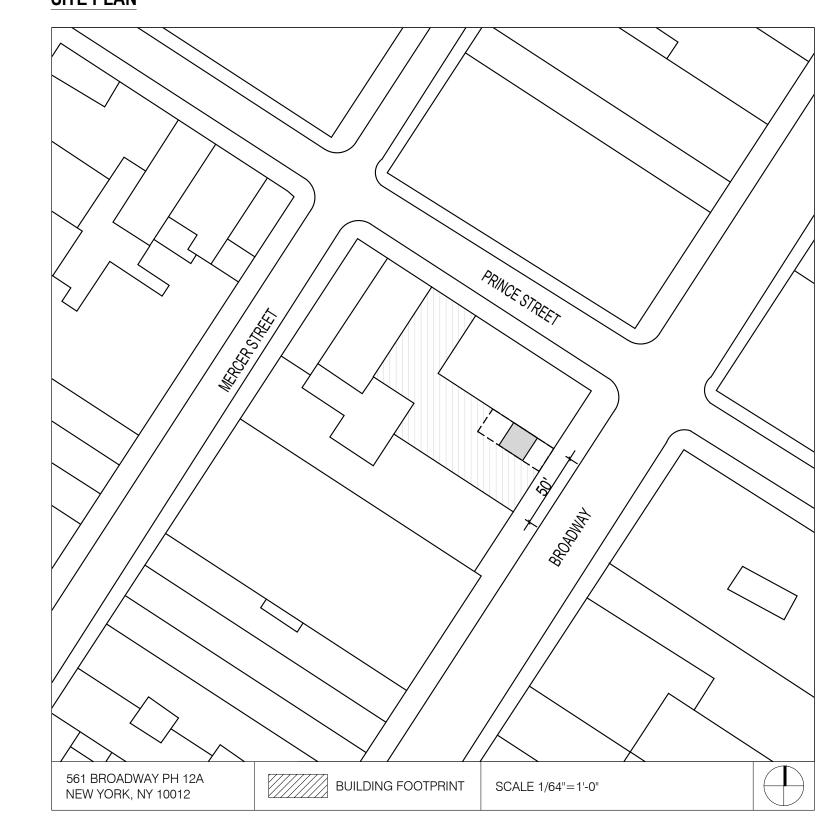
DEMOLITION PLAN - 12TH FLOOR DM-100.00 DM-101.00 DEMOLITION PLAN - ROOF

PROPOSED 12TH FLOOR PLAN A-100.00 A-101.00 PROPOSED BULKHEAD ROOF PLAN A-200.00 **EXISTING & PROPOSED BUILDING ELEVATIONS**

A-300.00 **EXISTING & PROPOSED BUILDING SECTIONS** A-310.00 EXISTING PARTIAL BUILDING SECTION A-311.00 PROPOSED PARTIAL BUILDING SECTION SIGHTLINE SECTIONS

A-312.00 A-400.00 EXISTING PHOTO & AXON DRAWING A-401.00 PROPOSED PHOTO & AXON DRAWING PHOTO: EXISTING ROOF CONDITION A-402.00

SITE PLAN



MATERIAL LEGEND

CONCRETE METAL STUD PARTITION CONCRETE BLOCK STAINLESS STEEL BRICK (FACE OR COMMON) WOOD BLOCKING

PLYWOOD/WOOD FLOORING GYPSUM WALL BOARD

FINISHED WOOD

THIS APPLICATION FOR EXTERIOR WORK ONLY

561 BROADWAY, PH 12A NEW YORK, NY 10012

T# DUMBLETON ARCHITECT

JONATHAN FARBER & ANYA PECHKO 561 BROADWAY. PH 12A NEW YORK, NY 10012

Architect:

DOB SCAN:

TA DUMBLETON ARCHITECT PC 41 WEST 16TH STREET NEW YORK, NY 10011

LANDMARK SET ANDMARK SET UPDATES

ISSUED FOR LANDMARK

DRAWING TITLE:

2017-06-27

SEAL & SIGNATURE

TITLE SHEET / **GENERAL NOTES**

2017-06-27 DATE: PROJECT No.: DRAWING BY: CHK BY: PAGE No.

A-000.00

DOB Number:

DWG No.:

CONDITIONS AT THE BUILDING

1. THE CONTRACTORS SHALL VISIT THE BUILDING AND BE RESPONSIBLE FOR HAVING ASCERTAINED PERTINENT LOCAL CONDITIONS SUCH AS LOCATION, ACCESSIBILITY AND GENERAL CHARACTER WHERE THE WORK IS TO BE PERFORMED. THE CHARACTER AND THE EXTENT OF EXISTING WORK WITHIN ADJACENT TO THE SPACE, EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE IN PERFORMING HIS PART OF THE WORK, OR WHICH WILL IN ANY MANNER AFFECT THE WORK UNDER THIS CONTRACT AND ANY OTHER WORK BEING PERFORMED THEREON.

SCHEDULES MILESTONES

1. CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE BROKEN OUT BY TRADE. CONTRACTOR IS TO NOTIFY THE SUPERINTENDENT ON THE FOLLOWING MILESTONES SO HAT OBSERVATION VISITS OF THE WORK MAY BE SCHEDULED; A) COMPLETION OF DEMOLITION; B) COMPLETION OF PLUMBING AND ELECTRICAL ROUGH IN; C) COMPLETION OF WATERPROOFING; D) COMPLETION OF SHOWER PAN INSTALLATION; E) COMPLETION OF FIRESTOPPING IF REQUIRED; F) COMPLETION OF PROJECT PRIOR TO AGENCY SIGN-OFF.

COORDINATION

COORDINATE THE WORK OF ALL TRADE SUBCONTRACTORS AND ARRANGE SPACE CONDITIONS
TO ACCOMMODATE THE WORK OF ALL TRADES. THE CONTRACTOR WILL BE HELD RESPONSIBLE
TO CORRECT UNSATISFACTORY CONDITIONS RESULTING FROM IMPROPER COORDINATION.

SUBSTITUTION

- 1. REFERENCE TO ANY ARTICLE, DEVICE, PRODUCT, MATERIAL, FIXTURE, FORM OR TYPE OF CONSTRUCTION BY NAME, CATALOG NUMBER SHALL BE INTERPRETED AS ESTABLISHING A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS LIMITING COMPETITION. SPECIFICATIONS, TECHNICAL DATA, AND BROCHURES OF ANY PROPOSED SUBSTITUTIONS MUST BE SUBMITTED TO THE ARCHITECT PRIOR TO THE SUBMISSION OF BIOS.
- 2. WHENEVER PRODUCTION OR OTHER PERFORMANCE REQUIREMENTS, OR A DEFINITE MAKE AND SIZE OF APPARATUS HAVING DEFINITE PERFORMANCE CHARACTERISTIC ARE SPECIFIED, ANY ASSEMBLY OR ITEM PROPOSED FOR SUBSTITUTION SHALL HAVE EQUAL OR GREATER CAPACITY, EFFICIENCY AND RELIABILITY. DIMENSIONS AND OTHER IMPORTANT FEATURES, WHICH MAY BE CRITICAL, WILL ALSO BE CONSIDERED BEFORE ACCEPTANCE GIVEN.
- 3. NO SUBSTITUTION FOR PRODUCTS MENTIONED BY NAME OR REFERENCE WILL BE ACCEPTED UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE ARCHITECT AND OWNER. WHENEVER A SUBSTITUTION IS PROPOSED FOR MATERIAL OR APPARATUS SPECIFIED, THE REQUEST FOR ACCEPTANCE OF SUCH SUBSTITUTION WILL BE ACCOMPANIED BY FULL INFORMATION RELATING TO THE CHARACTERISTIC OF THE PROPOSED MATERIAL OR APPARATUS AND AS TO BOTH ITS CONSTRUCTION AND PERFORMANCE. IN THE CASE OF FINISH ITEMS EXPOSED TO VIEW, THE ARCHITECT WILL ALSO CONSIDER EQUALITY AS DESIGN, COLOR, PATTERN, AND TEXTURE.

PROJECT CLOSE OUT

- 1. THE ARCHITECT RESERVES THE RIGHT TO ISSUE A LIST OF CORRECTIONS TO BE MADE (PUNCH LIST), IF SUCH A LIST IS NECESSARY, THE ARCHITECT WILL FURNISH THE CONTRACTOR A "PUNCH LIST" OF ITEMS REQUIRING COMPLETION OR CORRECTION.
- 2. AT COMPLETION OF THE WORK, THE PREMISES SHALL BE LEFT IN A CLEAN, NEAT, UNOBSTRUCTED CONDITION AND ALL WORK IN PERFECT REPAIR ORDER. ALL TOOLS, APPLIANCES, MATERIALS AND BELONGING TO THE CONTRACTOR SHALL BE REMOVED FROM THE PREMISES UPON COMPLETION OF THE WORK.

GENERAL NOTES

- 1. SCOPE OF WORK:THE EXTERIOR WALL PENETRATIONS FOR MECHANICAL WORK AND FOR THE WINDOW REPLACEMENT FOR A RESIDENTIAL APARTMENT.
- 2. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION, WHICH MAY INCLUDE BUT IT IS NOT LIMITED TO: THE DEPARTMENT OF BUILDINGS (DOB), DEPARTMENT OF CITY PLANNING (DCP), THE DEPARTMENT OF TRANSPORTATION (DOT), THE METROPOLITAN TRANSPORTATION AUTHORITY (MTA) AND THE LANDMARK PRESERVATION COMMISSION (LPC).
- 3. ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS (UNLESS OTHERWISE NOTED) OF NEW YORK CITY BUILDING CODE WITH THE STRICTEST PROVISIONS GOVERNING IN THE EVENT OF ANY CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND/OR DIFFERENT CODES.
- 4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE BUILDING, IT'S OCCUPANT. AND THE GENERAL PUBLIC DURING CONSTRUCTION.
- THE CONTRACTOR IS TO OBTAIN A COPY OF THE BUILDING ALTERATION AGREEMENT AND HOUSE RULES AND COMPLY WITH ALL ITEMS OUTLINED THEREIN. THE CONTRACTOR SHALL OBTAIN ALL BUILDING RULES AND REGULATIONS, NOTING PARTICULARLY ANY RESTRICTIONS REGARDING NOISE, USE OF PUBLIC ENTRIES, USE OF POWER TOOLS, TIMELY AND PROPER DEBRIS REMOVAL MATERIALS STORAGE, AND ELEVATOR USE.
- 6. ALL PUBLIC AREAS SUCH AS ELEVATORS LOBBIES, CORRIDORS, TOILETS AND SERVICE HALLS SHALL BE PROTECTED WITH MASONITE AND CRAFT PAPER TO THE SATISFACTION OF THE PROPERTY MANAGEMENT.EQUIPMENT AND OTHER PROPERTY BELONGING TO THE BUILDING SHALL ALSO BE PROTECTED, AND REFURBISHED IF DAMAGED DURING THE COURSE OF CONSTRUCTION, TO THE SATISFACTION OF THE PROPERTY MANAGEMENT.
- THE BUILDING PERMIT SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR WHO SHALL FILE FOR OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS AS REQUIRED BY LAW FOR THE COMPLETION OF WORK.
- THE CONTRACTOR SHALL FILE CERTIFICATES FOR LIABILITY, PROPERTY DAMAGE, DISABILITY AND WORKMAN'S COMPENSATION INSURANCE PRIOR TO COMMENCING CONSTRUCTION. COPIES OF SUCH POLICIES SHALL BE FILED WITH THE OWNER AND ARCHITECT.
- 9. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AND THE FULL EXTENT OF THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 10. ALL WORK WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MISINTERPRETATION OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL CONTRACT DOCUMENT.
- 11. WORK SHALL INCLUDE ALL CHARGES AND EXPENSES FOR FURNISHING ALL ITEMS SHOWN, SPECIFIED OR REQUESTED TO COMPLETE THE WORK, WETHER OR NOT SPECIFICALLY MENTIONED OR SHOWN, BUT WHICH ARE NECESSARY REQUIRED TO OBTAIN AND CONSTRUCT THE INDICATED DESIGN.
- 12. ALL WORK SHALL BE OF THE BEST CALIBER AND WORKMANSHIP, WORK NOT CONFIRMING TO THE HIGHEST STANDARDS OR TO THE INTENT OF THE DESIGN SHALL BE REINSTALLED AT NO EXTRA CHARGE IF SO DEEMED BY THE ARCHITECT.
- 13. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE. THAT QUALIFICATION SHALL INCLUDE PROPER LICENSE WHEN REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- 14. ALL MATERIALS AND EQUIPMENTS SHALL BE NEW AND THE BEST QUALITY OF THE KINDS SPECIFIED. THE USE OF OLD OR SECOND HAND MATERIALS IS STRICTLY FORBIDDEN UNLESS EXPLICITLY CALLED FOR ON THE DRAWINGS.
- 15. NO SPECIFIED ITEM MAY BE SUBSTITUTED UNLESS AN EQUAL IS SUBMITTED FOR APPROVAL TO THE ARCHITECT, BURDEN OF PRICE AND QUALITY IS THE CONTRACTORS RESPONSIBILITY.
- 16. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE SUPPLIED AND INSTALLED AS DIRECTED BY THE MANUFACTURER. THE MANUFACTURER'S SPECIFICATIONS ARE HEREBY MADE PART OF THESE DOCUMENTS WITH THE SAME FORCE AND EFFECT AS THOUGHT WRITTEN OUT IN FULL HEREIN.
- DOCUMENTS WITH THE SAME FORCE AND EFFECT AS THOUGHT WRITTEN OUT IN FULL HEREIN.

 17. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, WARRANTY AND GUARANTEES OF EQUIPMENTS
- SHALL BE THOSE OF MANUFACTURER FOR PERIOD SO STATED.

 18. THE FINAL LOCATIONS OF ALL WORK EXPOSED TO VIEW SUBJECT TO ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION ALL WORK SHALL BE SUBJECTED TO FINAL INSPECTION.
- 19. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES, FIRE EXTINGUISHERS MUST
- BE KEPT ON THE JOB SITE DURING CONSTRUCTION.

 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING FIRE STOPPING AT ALL NEW AND EXISTING PENETRATIONS OF FIRE RATED CONSTRUCTION. CONTRACTOR ALSO TO PROVIDE FIRE STOPPING WHERE CHASES, SHAFT, DEMISING WALLS AND STRUCTURAL ELEMENTS ARE OPENED DURING CONSTRUCTION OR WHERE EXISTING OPENINGS ARE EXPOSED DURING DEMOLITION, PROVIDE FIRE STOPPING ARE REQUIRED BY CODE. AN APPROVED FIRE STOPPING SYSTEM IS TO BE PROVIDED AS MANUFACTURED USG OR EQUAL (PRODUCT SPECIFICATIONS ARE REQUIRED).
- 21. CARE SHALL BE TAKEN TO NO INCONVENIENCE TENANTS IN EXISTING APARTMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL CONSTRUCTION OPERATIONS INVOLVING NOISE SO AS NOT TO DISTURB THE TENANTS IN EXISTING APARTMENTS.
- 22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEAN UP OF THE PREMISES AND PROMPT REMOVAL OF ALL WASTE MATERIALS AS GENERATED BY CONSTRUCTION, DEMOLITION, AND/OR DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS OR EQUIPMENT WHICH IS PART OF THE CONTRACT.
- 23. THE CONTRACTOR SHALL PREPARE THE PREMISES FOR OCCUPANCY WITH A THOROUGH CLEANING THROUGHOUT INCLUDING THE WASHING/CLEANING OF ALL SURFACES AND GLASS, AND THE REMOVAL OF ALL PAINT, PUTTY, AND STAINS FROM THE SAME, PROVIDE RUNNER STRIPS OF MASONITE AND KRAFT BUILDING PAPER ON FINISHED FLOORS AS REQUIRED FOR PROTECTION.
- 24. ALL NEW CONSTRUCTION IS TO INCORPORATE METAL STUDS FROM FRAMING, WITH PRESSURE TREATED WOOD ALLOWED FOR TO FRAME DOORS, FOR BLOCKING AND ANOTHER SPECIAL CONDITIONS.
- 25. CONTRACTOR TO PROVIDE SUFFICIENT PRESSURE TREATED WOOD BLOCKING IN WALLS FOR ALL WALL MOUNTED FIXTURES FITTING ACCESSORIES AND ALL OTHER WORK SHOWN IN DRAWINGS
- MOUNTED FIXTURES, FITTING ACCESSORIES, AND ALL OTHER WORK SHOWN IN DRAWINGS.

 26. SOUND PROOFING (SOUND ATTENUATION BATT INSULATION) MUST BE USED AT ALL DEMISING PARTITIONS.
- 27. PROVIDE AND/OR MAINTAIN FIRE-RATED CONSTRUCTION AS REQUIRED SHAFT, STRUCTURAL, ETC. PROVIDE OR MAINTAIN FIRE TOPPING AT ALL FLOOR AND RATED WALL PENETRATION.
 28. ANY CABINET WORK THAT IS TO BE FIXED TO THE WALL OR IS IMMOVEABLE MUST PROVIDE IMMEDIATE FULL
- ACCESS TO HEATING, PLUMBING, GAS, ELECTRICAL, AND TELEPHONE LINES, SPECIFIC DETAILS MUST BE REVIEWED WITH THE SUPERINTEND.

 29. NO CUTTING OR CHANNELING OF BUILDING EXTERIOR ENCLOSURE OR STRUCTURE, INCLUDING COLUMNS, BEAMS, JOISTS OR OF APARTMENT DEMISING WALLS, ROOES, ELOOPS, OR WALLS, IS PERMITTED FOR ANY WORK.
- BEAMS, JOISTS OR OF APARTMENT DEMISING WALLS, ROOFS, FLOORS, OR WALLS, IS PERMITTED FOR ANY WORK INCLUDING THE CHASING OF MECHANICAL, ELECTRICAL, OR PLUMBING. CUTTING IN DEMISING WALL FOR ELECTRICAL IS PERMITTED IF PERFORMED BY CRACK, CHASER, UNDER THE SUPERVISION OF THE BUILDING SUPERINTEND. FINISH WALLS MUST BE FURRED OUT FOR OUTLETS AND FIXTURES AT EXTERIOR WALLS, SHAFT, AND DEMISING CONDITIONS.

 30 IF ANY ASSESTOR OR OTHER HAZARDOUS MATERIALS ARE LINCOVERED DURING THE COURSE OF THE WORK.
- 30. IF ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE UNCOVERED DURING THE COURSE OF THE WORK, CONTRACTORS IS TO IMMEDIATELY NOTIFY ARCHITECT IN WRITING PRIOR TO PERFORMING ANY WORK. THE ASBESTOS OR HAZARDOUS MATERIAL MUST BE REMOVED OR CONTAINED BY A NEW YORK LICENSED HAZARDOUS MATERIAL SUB-CONTRACTOR.
- 31. IF STRUCTURAL WORK, IS FOUND TO BE NECESSARY FOR ANY REASON, CONTRACTOR IS IMMEDIATELY NOTIFY ARCHITECT IN WRITING PRIOR TO PERFORMING ANY WORK.
- 32. THE USE OF POWER DEVISES SUCH S ELECTRIC HAMMERS OR OTHER PNEUMATIC TOOLS WILL NOT BE ALLOWED.
- 33. ANY WORK OR MATERIAL NOT ACCEPTABLE OR NOT CONFORMING TO LAW AND REGULATIONS BY ALL BODIES HAVING JURISDICTION SHALL BE REMOVED AT THE REQUEST OF THE ARCHITECT AND/OR GENERAL CONTRACTOR REJECTION OF CONTRACTOR'S WORK SHALL BE IN ACCORDANCE WITH BUT NOT LIMITED TO:
 DEVIATION FROM PLANS AND SPECIFICATIONS.
- ANY EQUIPMENT OR MATERIALS NOT INSTALLED IN A "WORKMANLIKE" MANNER.
- ANY EQUIPMENT OR MATERIAL THAT IS NOT INSTALLED PROPERLY ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR APPLICABLE BUILDING CODES.

THE WINDOW

T/DUMBLETON ARCHITEC

Project:

DOB SCAN:

561 BROADWAY, PH 12A NEW YORK, NY 10012

Client:
JONATHAN FARBER &
ANYA PECHKO
561 BROADWAY, PH 12A
NEW YORK, NY 10012

NEW YORK, NY 10011

Architect:
TA DUMBLETON ARCHITECT PC
41 WEST 16TH STREET

LANDMARK SET			

ANDMARK SET UPDATES

ISSUED FOR LANDMARK

REV: |DATE: | SEAL & SIGNATURE

2017-06-27

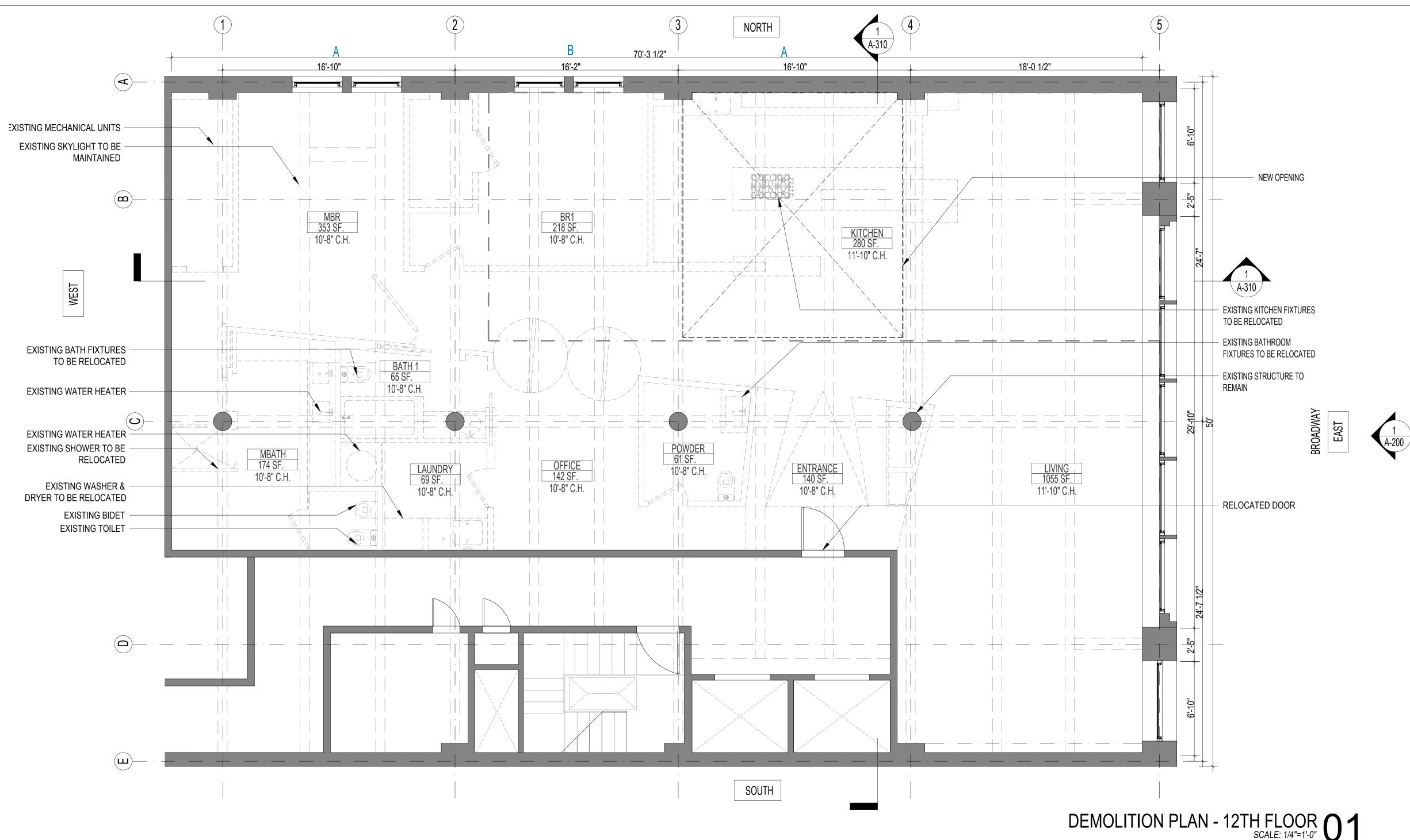
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GENERAL NOTES

DATE: 2017-06-27
PROJECT No.: -DRAWING BY: -CHK BY:
PAGE No.:

DWG No.: **A-001.00**

THIS APPLICATION FOR EXTERIOR WORK ONLY



DEMOLITION NOTES

THE DEMOLITION CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION OF ALL WORK AND REMOVE ALL DEBRIS FROM THE PREMISES AS INDICATED ON THE DEMOLITION OR AS OTHERWISE DIRECTED BY THE ARCHITECT.

THE DEMOLITION CONTRACTOR, PRIOR TO SUBMITTING A BID, SHALL ACQUAINT ONESELF IN DETAIL WITH ALL EXISTING CONDITIONS OCCURRING AT THE LOCATIONS WITHIN THE BUILDING WHERE THE PROPOSED ALTERATIONS SHALL BE IMPLEMENTED.

THE DEMOLITION CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK SPECIFIED IN THESE CONTRACT DOCUMENTS.

THE DEMOLITION CONTRACTOR SHALL EXECUTE ALL DEMOLITION WORK AND REMOVE ALL DEBRIS IN STRICT COMPLIANCE WITH ANY AND ALL RULES FOR DEMOLITION WORK THAT HAS BEEN ESTABLISHED BY THE MANAGEMENT OF THE BUILDING AND ANY OR ALL GOVERNMENT AGENCIES THAT HAVE JURISDICTION OVER THE WORK REQUIRED. ALL WORK SHALL BE EXECUTED WITHOUT AFFECT TO ANY EXISTING STRUCTURE. TENANCY AND/OR SURFACE FACILITY LOCATED ON ADJACENT LOTS.

ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT FOR ITEMS TO BE REUSED OR RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED. THE DEMOLITION CONTRACTOR SHALL BE SOLELY AND EXCLUSIVELY RESPONSIBLE FOR THE PROTECTION OF ANY AND ALL ITEMS THAT ARE TO BE REUSED OR SAVED.

THE DEMOLITION CONTRACTOR SHALL REMOVE ALL WALL CONDUIT LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT THAT WILL NOT BE USED IN THE FINAL INSTALLATION. THE DEMOLITION CONTRACTOR SHALL ALSO INSTALL A TEMPORARY ELECTRICAL PANEL FOR USE DURING CONSTRUCTION AS REQUIRED.

IN AREAS WHERE DEMOLITION (REMOVAL OF TILE, WOOD FLOORING, MARBLE, PARTITIONS, ETC..) CAUSES AND UNEVENNESS IN FLOOR LEVEL, THE DEMOLITION CONTRACTOR SHALL PATCH AND LEVEL THE FLOOR TO RECEIVE NEW FINISHED FLOORING.

ALL EXPOSED LIGHT FIXTURES, WIRING, SWITCHES AND METAL MOULDING NOT BEING REUSED, SHALL BE REMOVED AND EITHER STORED OR CARTED AWAY BY THE DEMOLITION CONTRACTOR.

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THE DEMOLITION CONTRACTOR SHALL DISCONNECT ALL PLUMBING LINES AS NECESSARY. ALL DRAINS SHALL BE PROTECTED FROM FALLING DUST AND DEBRIS AS NECESSARY. EXISTING BRANCH PIPING EXPOSED IN THE COURSE OF A RENOVATION MUST BE REPLACED.

THE DEMOLITION CONTRACTOR SHALL CAP AND/OR FLUSH-OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, ELECTRICAL, TELEPHONE OUTLETS AND ALL PROJECTING PLUMBING AND ELECTRICAL ITEMS WHICH ARE BEING ABANDONED, EITHER TEMPORARILY OR PERMANENTLY.

UPON COMPLETION OF ALL DEMOLITION WORK, THE DEMOLITION CONTRACTOR SHALL DELIVER THE PREMISES TO THE OWNER BROOM CLEAN. THROUGHOUT THE CONSTRUCTION PERIOD, THE DEMOLITION CONTRACTOR SHALL MAINTAIN THE RESIDENCE FREE OF DUST AND DEBRIS THROUGHOUT THE DAY. WHEN MATERIALS ARE BEING MOVED THROUGH THE RESIDENCE, THE RESIDENCE SHALL BE VACUUMED CLEAN AND MAINTAINED CLEAN ON A CONTINUOUS BASIS.

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REMOVE ALL EXPOSED WIRING, SURFACE-MOUNTED CONDUITS AND OUTLETS.

THE DEMOLITION CONTRACTOR SHALL COMPLY WITH THE MOST CURRENT REGULATIONS OF THE ENVIRONMENTAL PROTECTION AGENCY, THE DEPARTMENT OF BUILDINGS AND OSHA PERTAINING TO THE REMOVAL OT THE ABATEMENT OF ANY ASBESTOS PRESENT IN THE PREMISES. THE DEMOLITION PRIOR TO FINALIZING THE METHOD OF REMOVAL OR ABATEMENT OF THE ASBESTOS AS NECESSARY. HIDDEN ASBESTOS MAY BECOME EXPOSED DURING CONSTRUCTION. IF SUSPECTED ASBESTOS-CONTAINING MATERIAL THAT WOULD BE DISTURBED IS DISCOVERED, THEN WORK MUST STOP IN THAT AREA. A NYC CERTIFIED ASBESTOS INVESTIGATOR MUST BE CALLED TO DETERMINE IF ABATEMENT IS NECESSARY.

UNDER THE TERMS OF THE CONTRACT, ALL DEMOLITION WORK INCLUDING CUTTING AND PATCHING REQUIRED BY THE CONTRACT DOCUMENTS AND ANY CONDITIONS ENCOUNTERED IN THE FIELD DURING CONSTRUCTION ARE TO BE CONSIDERED INCLUDING IN THE SCOPE OF WORK.

ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF ANY CODE, RESOLUTION OR STATUTE AND ANY NEW YORK STATE, MUNICIPAL, OR FEDERAL AGENCY HAVING JURISDICTION OVER THE PROJECT

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2017-07-20 LANDMARK SET UPDATES

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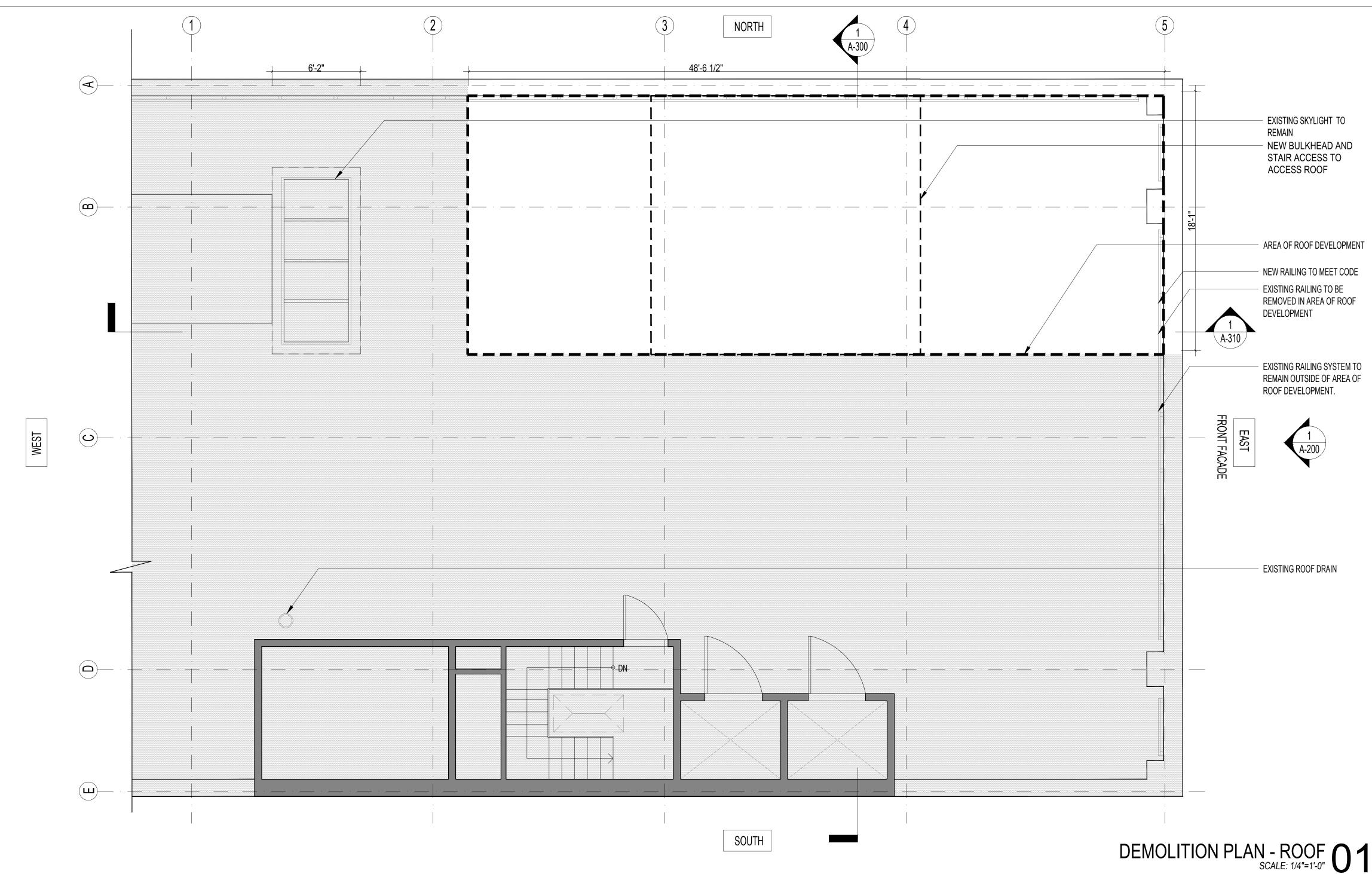
DEMOLITION PLAN 12TH FLOOR

DATE:	2017-06-27
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DOB Number:

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DEMOLITION NOTES

THE DEMOLITION CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION OF ALL WORK AND REMOVE ALL DEBRIS FROM THE PREMISES AS INDICATED ON THE DEMOLITION OR AS OTHERWISE DIRECTED BY THE ARCHITECT.

THE DEMOLITION CONTRACTOR, PRIOR TO SUBMITTING A BID, SHALL ACQUAINT ONESELF IN DETAIL WITH ALL EXISTING CONDITIONS OCCURRING AT THE LOCATIONS WITHIN THE BUILDING WHERE THE PROPOSED ALTERATIONS SHALL BE IMPLEMENTED.

THE DEMOLITION CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK SPECIFIED IN THESE CONTRACT DOCUMENTS.

THE DEMOLITION CONTRACTOR SHALL EXECUTE ALL DEMOLITION WORK AND REMOVE ALL DEBRIS IN STRICT COMPLIANCE WITH ANY AND ALL RULES FOR DEMOLITION WORK THAT HAS BEEN ESTABLISHED BY THE MANAGEMENT OF THE BUILDING AND ANY OR ALL GOVERNMENT AGENCIES THAT HAVE JURISDICTION OVER THE WORK REQUIRED. ALL WORK SHALL BE EXECUTED WITHOUT AFFECT TO ANY EXISTING STRUCTURE, TENANCY AND/OR SURFACE FACILITY LOCATED ON ADJACENT LOTS.

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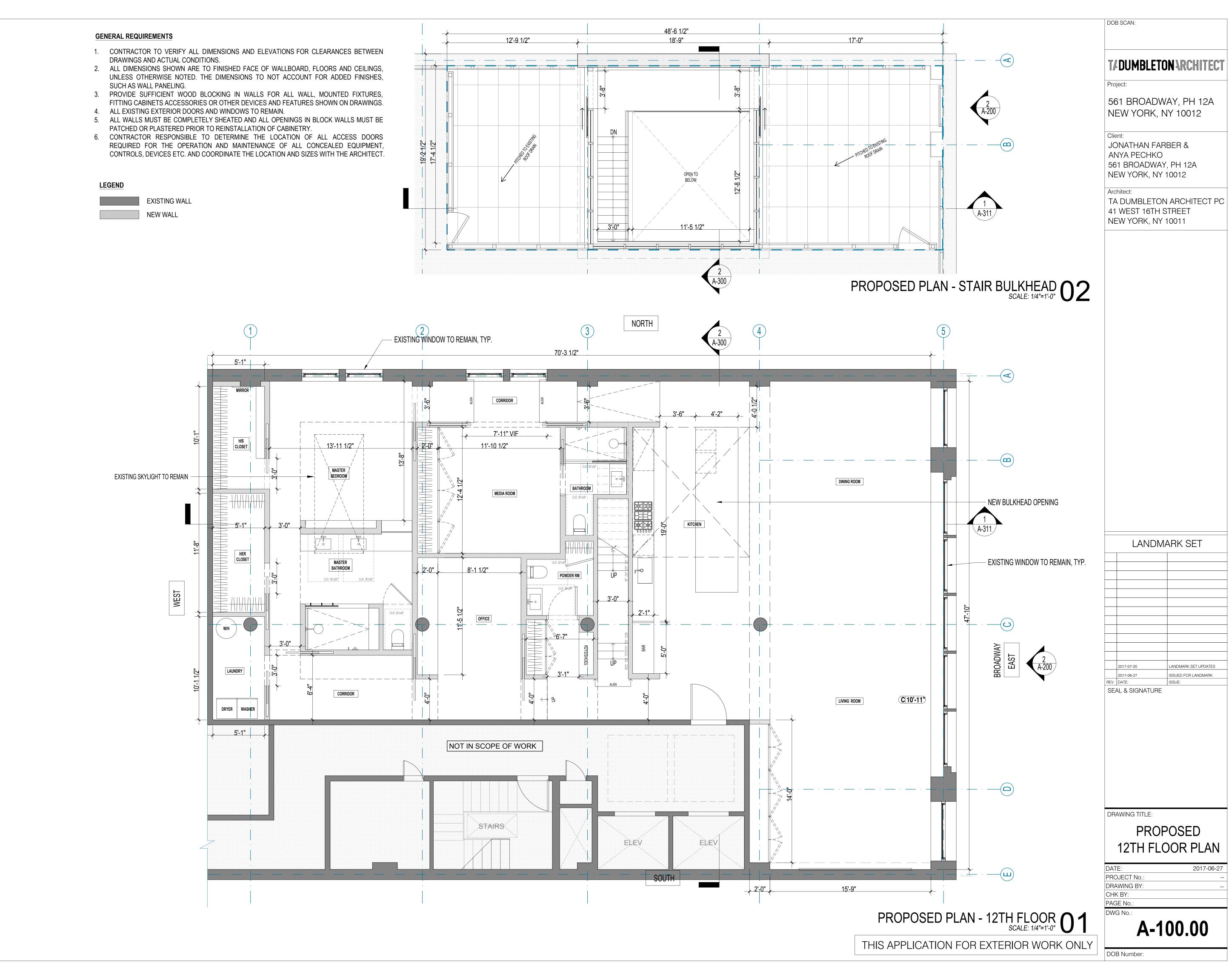
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DEMOLITION PLAN ROOF

2017-06-27 PROJECT No.: DRAWING BY: CHK BY: PAGE No.

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EXISTING WALL

NEW WALL

GENERAL REQUIREMENTS

- 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS FOR CLEARANCES BETWEEN DRAWINGS AND ACTUAL CONDITIONS.
- 2. ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALLBOARD, FLOORS AND CEILINGS, UNLESS OTHERWISE NOTED. THE DIMENSIONS TO NOT ACCOUNT FOR ADDED FINISHES, SUCH AS WALL PANELING.
- 3. PROVIDE SUFFICIENT WOOD BLOCKING IN WALLS FOR ALL WALL, MOUNTED FIXTURES, FITTING CABINETS ACCESSORIES OR
- OTHER DEVICES AND FEATURES SHOWN ON DRAWINGS.

 4. ALL EXISTING EXTERIOR DOORS AND WINDOWS TO REMAIN.
- 5. ALL WALLS MUST BE COMPLETELY SHEATED AND ALL OPENINGS IN BLOCK WALLS MUST BE PATCHED OR PLASTERED PRIOR TO REINSTALLATION OF CABINETRY.
- 6. CONTRACTOR RESPONSIBLE TO DETERMINE THE LOCATION OF ALL ACCESS DOORS REQUIRED FOR THE OPERATION AND MAINTENANCE OF ALL CONCEALED EQUIPMENT, CONTROLS, DEVICES ETC. AND COORDINATE THE LOCATION AND SIZES WITH THE ARCHITECT

T#DUMBLETON ARCHITECT

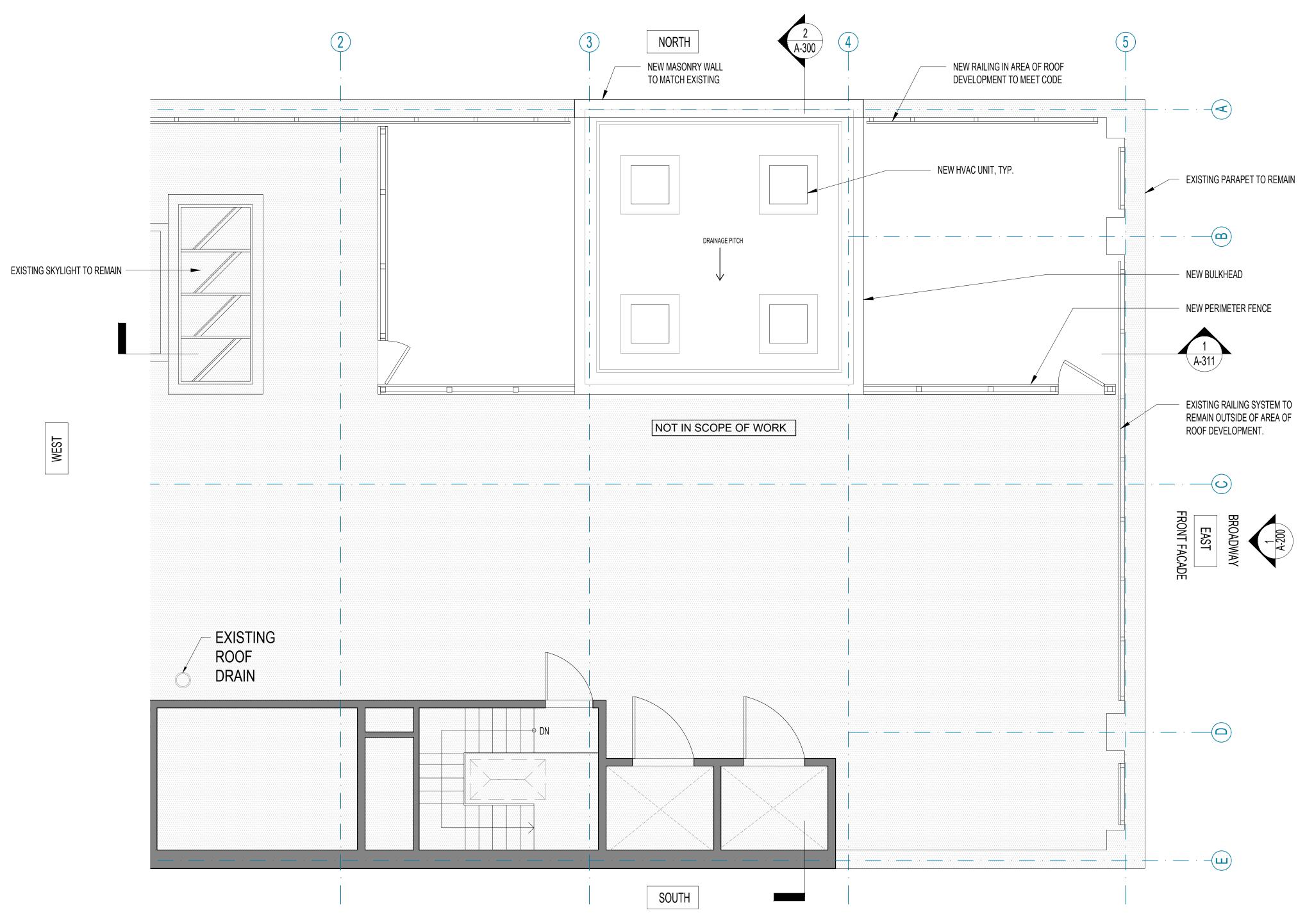
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BULKHEAD ROOF PLAN - 12TH FLOOR O 1

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PROPOSED BULKHEAD ROOF PLAN

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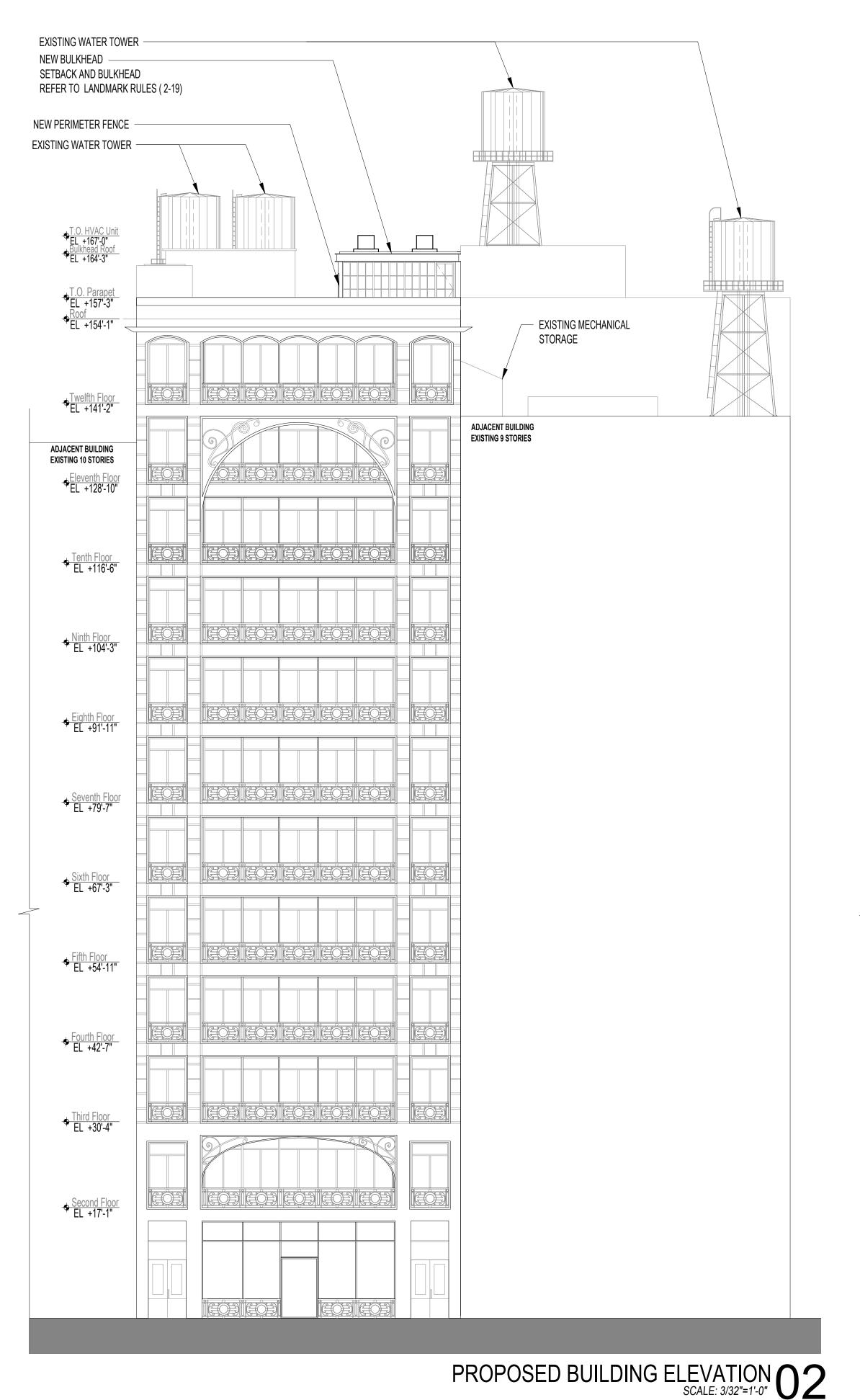
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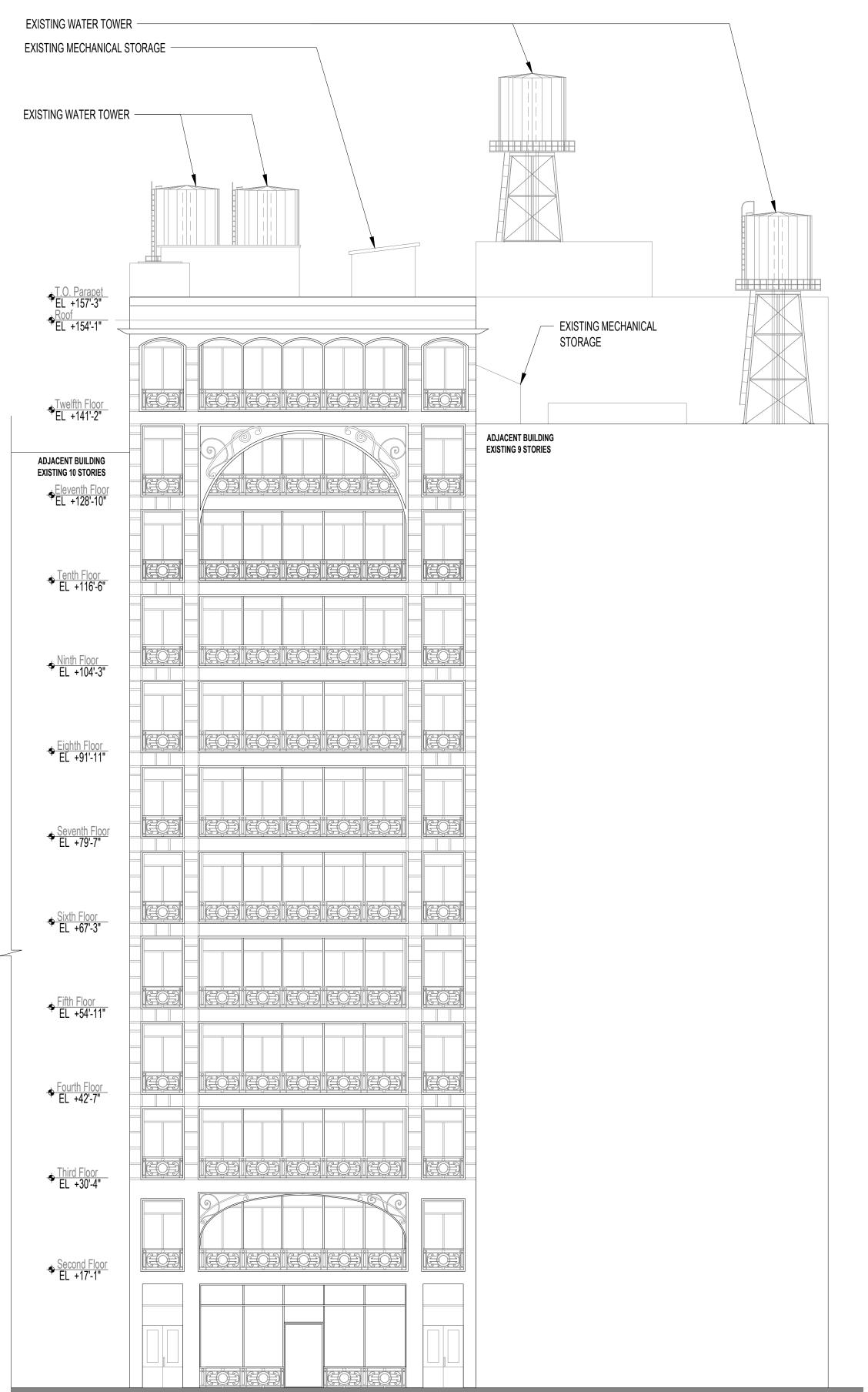
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EXISTING BUILDING ELEVATION 0 1

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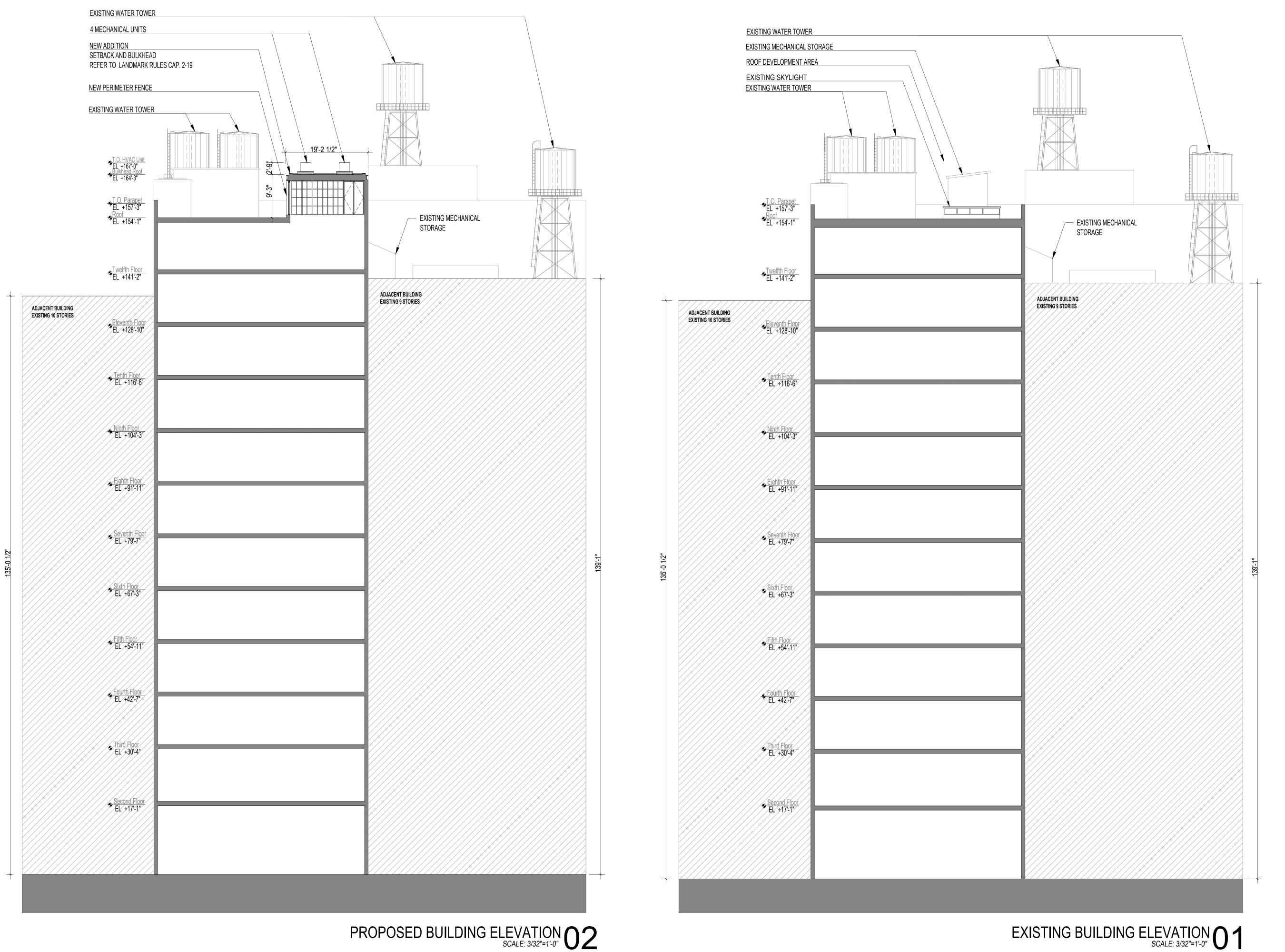
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EXISTING & PROPOSED BUILDING ELEVATIONS

2017-06-27 PROJECT No.: DRAWING BY: CHK BY: PAGE No.:

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EXISTING & PROPOSED **BUILDING SECTION**

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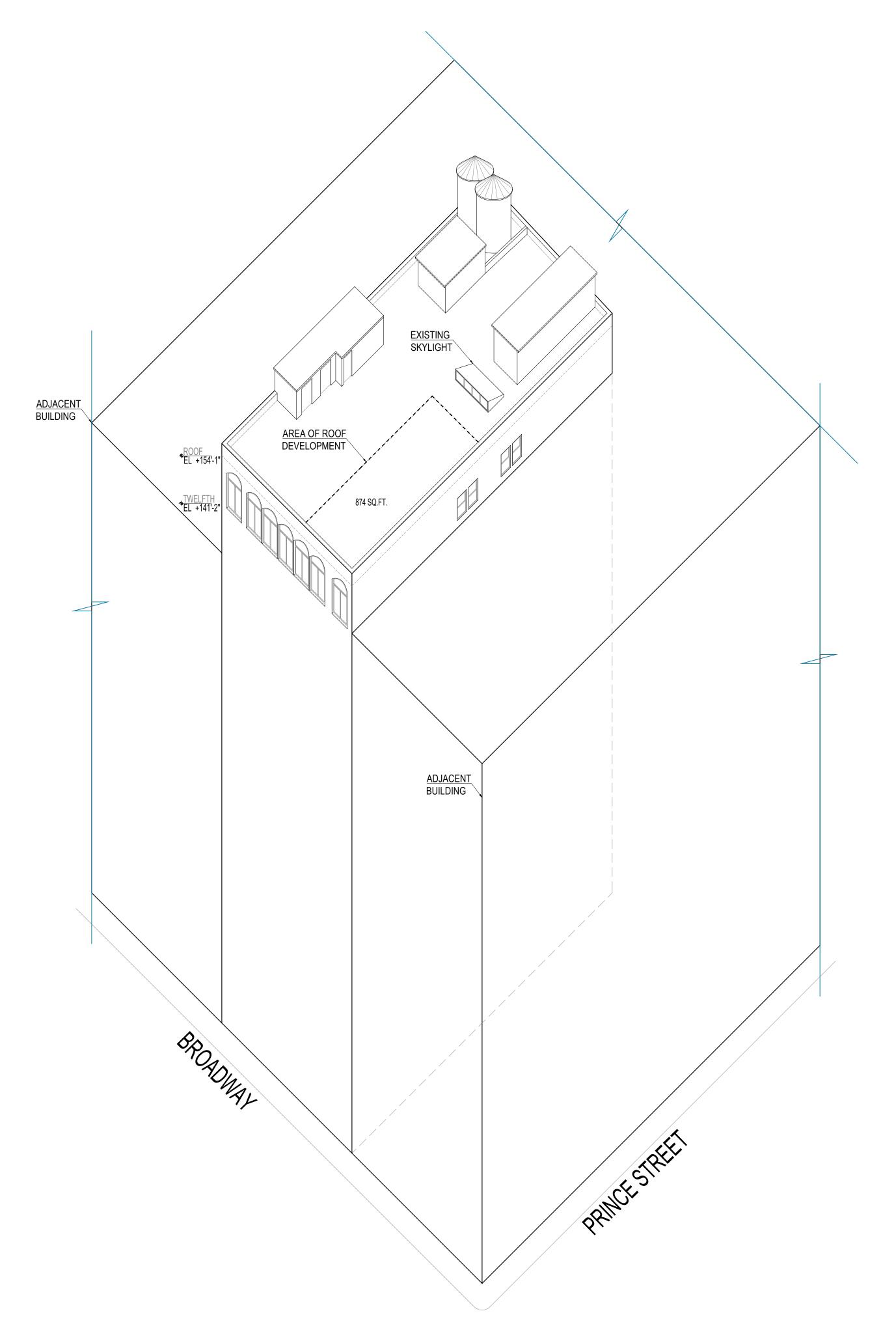
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EXISTING CONDITIONS - NORTHEAST CORNER OF BROADWAY & PRINCE ST. 01

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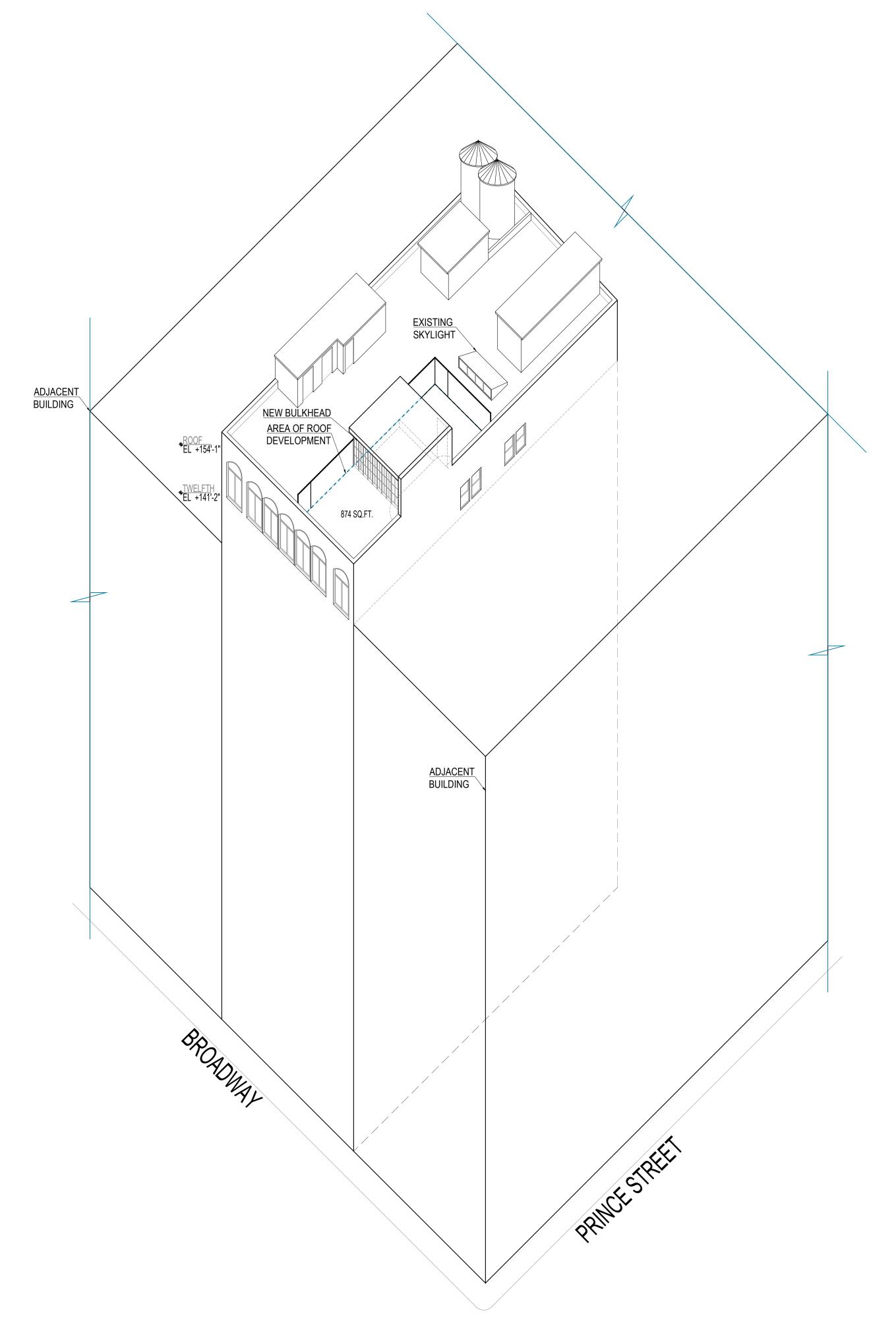
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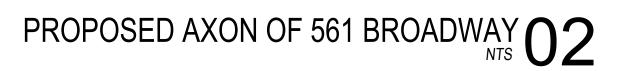
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PROPOSED CONDITIONS - NORTHEAST CORNER OF BROADWAY & PRINCE ST. 1

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EXISTING CONDITIONS - ROOF 01 - EXISTING RAILING NEEDS TO BE REPLACED IN AREAS OF ROOF DEVELOPMENT - NEW RAILING NEEDS TO MEET CODE

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ROOF CONDITION

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